



Florence County Government
Procurement Department

March 18, 2015

**ADDENDUM NO. 1 - SPAULDING HEIGHTS COMMUNITY BUILDING ADDITION
(BID NO. 22-14/15)**

This addendum addresses the issues discussed at the pre-bid meeting. The revised attached plans shall replace the original bid document plans.

- All bids are due at the Florence County Procurement Office, 180 N. Irby Street, Room B-5, by **Wednesday, March 25, 2015 at 2:45 p.m.** Bids will be opened at 3:00 p.m. in Room 210-C.
- The successful bidder will be required to obtain a City of Florence business license.
- Pre-engineered wood trusses are an acceptable option by the Owner. Truss design calculations will be a required submittal to Florence County and Atlantic ECS.
- The Bard Unit shall be Model # W24H1LA04, 2 Ton Heat Pump with R-410 Refrigerant; Rated voltage/phase 230/208-1, 25 Amp Breaker required.
- The hot water heater should be on its' own breaker. There shall be only one (1) hot water line from the hot water heater to the sink (see revised plans for location).
- The Contractor shall remove the existing 200 amp electric panel and replace it with a minimum 250 amp electrical panel to accommodate the new breakers for the lights, receptacles, heat pump, and hot water heater.
- The existing kitchen floor shall have the same new flooring as the addition.
- The sink shall be moved per the details in the revised plans.
- The concrete masonry unit (CMU) wall and floor slab detail have been revised, refer to the details in the revised plans.
- Florence County will provide materials testing for soil and concrete as required.
- The serving counter height shall meet ADA maximum requirement height of 36" above the finished floor.
- The two new windows mentioned in the bid document shall be the same size as the existing windows. Two (2) new shutters are to be added to each window that matches the existing shutters.
- The stove and sink are to be relocated per the revised S8 plan.
- The Contractor shall install attic access door in building addition. Refer to the plan sheet and scope of work note 1.
- The Contractor shall add partition (shutters, etc.) into the serving window to separate the addition from kitchen area. Reference plan Sheet S1, Note 3.

County Complex Building, 180 N. Irby Street MSC-R, Florence, SC 29501 Telephone (843) 665-3018

Fax: (843) 664-9668

PLEASE ACKNOWLEDGE THIS ADDENDUM BY SIGNING BELOW AND SUBMIT IT WITH YOUR BID. YOUR BID WILL NOT BE ACCEPTED WITHOUT A SIGNATURE.

I have read and acknowledged this addendum to invitation to bid no. 22-14/15.

Authorized Signature

Printed Name

Date

Company Name

STRUCTURAL DESIGN CRITERIA

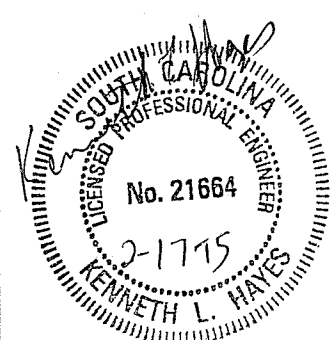
BUILDING CODE:	IBC 2012, IRC 2012
OCCUPANCY CLASSIFICATION:	99 OR LESS
DEAD LOAD (FLOOR):	SELF WEIGHT
DEAD LOAD (ROOF FRAMING):	SELF WEIGHT
LIVE LOAD (ROOF):	20 PSF
LIVE LOAD (FLOOR):	100 PSF, DINING/RESTAURANT
LIVE LOAD (ROOF CEILING):	10 PSF, LIMITED STORAGE
WIND LOAD:	
BASIC WIND SPEED:	125 M.P.H.
WIND IMPORTANCE FACTOR:	1.0
EXPOSURE CATEGORY:	C
WIND ENCLOSURE:	ENCLOSED
WIND PRESSURE:	40.0 PSF
SEISMIC ZONE:	Do, SOIL CLASS F USED FOR DESIGN

MATERIAL REQUIREMENTS (AS APPLICABLE) - U.N.O.

SOIL (SUITABLE & COMPACTED)	1,500 PSF, CLASS F
TREATED WOOD	SEE WOOD NOTES, SHEET S1
WOOD FRAMING	SOUTHERN PINE #2
WOOD ROOF &/OR FLOOR TRUSSES	PER MANUFACTURER
TUBE STEEL	ASTM A500
STRUCTURAL STEEL	N/A
OTHER STEEL (PLATES, ETC.)	N/A
CONCRETE	3,000 PSI
REBAR	60,000 PSI
BOLTS	ASTM A307
ANCHOR BOLTS	ASTM F1554
STRUCTURAL BOLTS	ASTM A325
STRUCTURAL NUTS	ASTM A563
HARDENED WASHERS	ASTM F436

SHEETS TABLE

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WALL PLAN	S3
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ELEVATIONS	S5
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FRAMING DETAILS	S7
REMODELING PLAN	S8

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SPAULDING HEIGHTS RECREATION
CENTER ADDITION
FLORENCE, SC
COVER SHEET

ATLANTIC ECS, LLC
1850 S. PAMPLICO HWY.

PAMPLICO, SC 29583
PHONE: (843) 676-5392

PHONE: (615) 670-5552

PROJECT NO.: 1523

SHEET NUMBER:

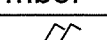

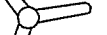


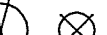
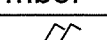

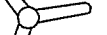


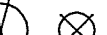
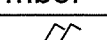

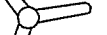


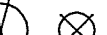
S1




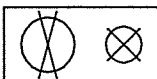


TYPICAL WOOD CONNECTIONS

FLOOR FRAMING (PER IRC 2012 IF NOT SHOWN BELOW)	COMMON NAILS	BOX NAILS	NAIL SPACING / NOTES
JOIST TO SILL, TOP PLATE, OR GIRDER (TOE-NAILED)	4-8d	4-10d	PER JOIST
RIM JOIST TO TOP PLATE OR BLOCKING, FOR FLOOR AND ROOF (TOE NAILED)	8d	8d	6" O.C.
BUILT-UP GIRDERS AND BEAMS	10d	10d	12" O.C. AT TOP AND BOTTOM AND STAGGERED, TWO NAILS AT ENDS
BLOCKING TO JOIST, FLOOR OR ROOF (TOE-NAILED)	3-8d	3-8d	EACH END
LEDGER STRIP TO BEAM OR GIRDER (FACE-NAILED)	3-16d	4-16d	EACH JOIST OR ROOF RAFTER
2" SUBLOOR TO JOIST OR GIRDER (BLIND & FACE NAIL)	2-16d	2-16d	EACH JOIST OR GIRDER
2" PLANKS (PLANK & BEAM FLOOR & ROOF)	2-16d	2-16d	AT EACH BEARING
ROOF FRAMING (PER IRC 2012 IF NOT SHOWN BELOW)			
BLOCKING TO RAFTER (TOE-NAILED)	3-8d	3-10d	EACH END
RIM BOARD TO RAFTER (END NAILED)	3-16d	3-16d	EACH END
CEILING JOISTS TO TOP PLATE (TOP PLATE)	3-8d	3-8d	EACH END
CEILING JOISTS LAPPED OVER PARTITION (FACE NAIL)	3-10d	3-10d	EACH END
COLLAR TIES TO RAFTER (FACE-NAILED)	5-10d	5-10d	EACH END, ALSO ADD 1 1/4" x 20GA. RIDGE STRIP
RAFTER OR ROOF TRUSS TO PLATE (TOE NAILED)	3-10d	3-16d	2 TOE NAILS ON ONE SIDE, 1TOE NAIL ON OTHER, ALSO SEE CONNECTOR SPECIFIED ON PLANS/DETAILS
ROOF RAFTER TO RIDGE , VALLEY OR HIP RAFTERS (TOE NAIL FACE NAIL)	4-16d	4-16d	AT RIDGE; VALLEY OR HIP RAFTER
ROOF SHEATHING - WOOD STRUCTURAL PANELS (PER IRC 2012 IF NOT SHOWN BELOW)			
RAFTERS OR TRUSSES UP TO 24" O.C.	8d	10d	6" EDGE / 9" FIELD
GABLE ENDWALL RAKE OR RAKE TRUSS W/O GABLE OVERHANG	8d	10d	6" EDGE / 9" FIELD
GABLE ENDWALL OR RAKE TRUSS W/ STRUCTURAL OUTLOOKERS	8d	10d	6" EDGE / 6" FIELD
GABLE ENDWALL RAKE OR RAKE TRUSS W/ LOOKOUT BLOCKS	8d	10d	6" EDGE / 6" FIELD

MEMBER DESCRIPTION	MEMBER SIZE	CONSTRUCTION NOTES:
FOOTINGS	SEE PLAN FOR SIZES	ALL FOOTINGS SHALL HAVE REINFORCEMENT. REFERENCE DETAIL SHEETS FOR REBAR SIZE AND SPACINGS. 3,000 PSI CONCRETE IS MINIMUM STRENGTH.
EXTERIOR WALL	8" CMU	ALL FACES AND WEBS GROUTED, SINGLE BLOCK, DOUBLE BLOCK WITH STAGGERED LAYERS REQUIRED FOR HEIGHTS ABOVE 48"
HEADERS - ROOF	2-2x10	HEADERS ARE TWO MEMBERS CONSTRUCTED AS BUILT UP MEMBER, REFERENCE IRC 2012 FOR DOOR AND WINDOW HEADERS
ROOF RAFTERS/TRUSSES	2x6	2x6, 24" O.C. HAS A MAXIMUM SPAN OF 12'-3". 2x6, 16" O.C. HAS A MAXIMUM SPAN OF 15'-6". REFERENCE IRC 2012 FOR OTHER SIZES AND SPANS.
CEILING JOISTS	2x10	2x6, 24" O.C. HAS A MAXIMUM SPAN OF 11'-0". 2x6, 16" O.C. HAS A MAXIMUM SPAN OF 13'-6". REFERENCE IRC 2012 FOR OTHER SIZES AND SPANS.
COLLAR TIES	2x4 MIN.	INSTALLED IN UPPER THIRD OF ATTIC SECTION OF ROOF. INSTALLATION PER TABLE ABOVE.

SCOPE OF WORK: ALSO REFERENCE BID FORM

- | <p>1) CONSTRUCT 20' x 60' CONCRETE BLOCK WALL ADDITION TO EXISTING STRUCTURE.ADD SCUTTLE HOLE ACCESS DOOR IN CEILING, LOCATION PER OWNER. RESHINGLE EXISITNG 20' x 28' CMU BUILDING.</p> <p>2) ADD DOOR FROM EXISTING KITCHEN TO ACCESS NEW ADDITION.</p> <p>3) ADD APPROXIMATE 3'-4" x 8' SERVING WINDOW, WITH ACCORDION STYLE SHUTTERS, FROM KITCHEN TO DINING HALL.</p> <p>4) BARD HEAT/AC UNIT FOR NEW ADDITION.</p> <p>5) FINISH FLOOR TO HAVE AN EPOXY COVERING OF CONCRETE FLOOR.</p> <p>6) ADD 8' FLUORESCENT LIGHTS, ELECTRICAL OUTLETS, LIGHT SWITCHES, AND TWO CEILING FANS IN ADDITION.</p> <p>7) ADD NEW BREAKERS TO ACCOMODATE ITEM NUMBER 6 ABOVE.</p> <p>8) CONTRACTOR MAY HAVE TO REPLACE PANEL BOX.</p> <p>9) NEW ADDITION TO HAVE PLYWOOD CEILINGS WITH 1x4 LUMBER COVERING JOINTS. CONTRACTOR TO ENSURE ALL FINISH WORK ON CEILING IS STRAIGHT. NO WARPED, BOWED, OR OTHER OUT OF PLANE LUMBER WILL BE ACCEPTED ON FINISH WORK.</p> <p>10) REWORK PLUMBING INSIDE OF KITCHEN</p> <p>11) RELOCATE OVEN AND SINK.</p> <p>12) ADD HOT WATER HEATER AND ASSOCIATED ELECTRICAL WIRING. ALL NEW WIRINGIN EXISTING KITCHEN TO BE INSTALLED IN PVC SCHEDULE 80 CONDUIT U.N.O.</p> <p>13) PAINT NEW CEILING AND WALLS AS WELL AS EXISTING KITCHEN. PAINT COLOR MUST BE PRE-APPROVED IN WRITING BY FCPR PRIOR TO PURCHASING PAINT.</p> <p>14) REMOVE AND REPLACE EXISTING LIGHT FIXTURES IN KITCHEN.</p> | | <table> <tr> <th colspan="2">LEGENED</th></tr> <tr> <th>Symbol</th><th>Description</th></tr> <tr> <td></td><td>SWITCH, DOUBLE POLE</td></tr> <tr> <td></td><td>CEILING FAN</td></tr> <tr> <td></td><td>SURFACE/ PENDANT CEIL</td></tr> <tr> <td></td><td>VENTILATION FAN - CEILING</td></tr> <tr> <td></td><td>WALL MOUNTED LIGHT FI</td></tr> <tr> <td></td><td>OUTDOOR LIGHTS</td></tr> </table> | LEGENED | | Symbol | Description |  | SWITCH, DOUBLE POLE |  | CEILING FAN |  | SURFACE/ PENDANT CEIL |  | VENTILATION FAN - CEILING |  | WALL MOUNTED LIGHT FI |  | OUTDOOR LIGHTS |
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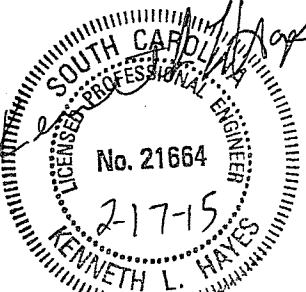
LEGEND	
Symbol	Description
	SWITCH, DOUBLE POLE
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	SURFACE/ PENDANT CEILING MOUNTED LIGHT FIXTURE
	VENTILATION FAN - CEILING MOUNTED
	WALL MOUNTED LIGHT FIXTURE
	OUTDOOR LIGHTS

GENERAL NOTES:

- 1) THIS PLAN SET OF DRAWINGS PROVIDES FOR AN ADDITION TO THE ADDRESS SHOWN IN THE TITLE BLOCK. A GENERAL BID FORM (SCOPE OF WORK) IS INCLUDED ON ATTACHED SHEETS.
- 2) THESE DETAILS MAY NOT BE USED FOR OTHER STRUCTURES WITHOUT PRIOR WRITTEN APPROVAL FROM ATLANTIC ECS, LLC (AECS).
- 3) FLORENCE COUNTY PARKS & RECREATION IS REFERENCED AS FCPR IN PLANS.
- 4) O.C. IS FOR ON CENTER SPACING. U.N.O. IS FOR UNLESS NOTED OTHERWISE.
- 5) AECS REFERS TO ATLANTIC ECS, LLC. THESE PLANS MAY NOT BE REPRODUCED, IN WHOLE OR IN PART, WITHOUT WRITTEN PERMISSION FROM AECS.
ANY DISCREPANCY FOUND SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF AECS.
AECS SHALL NOT BE RESPONSIBLE FOR THE UNAUTHORIZED ALTERATION OF THESE PLANS.
ALL ALTERATIONS, REVISIONS, ETC. SHALL BE IN WRITING BY AECS.
- 6) TEMPORARY SUPPORTS, BRACES, ETC. DURING CONSTRUCTION ARE RESPONSIBILITY OF THE CONTRACTOR.
- 7) CONTRACTOR MAY CONTACT FLORENCE COUNTY PARKS AND RECREATION (FCPR) TO REVIEW EXISTING FACILITIES PRIOR TO SUBMITTING BID TO FCPR.
- 8) ALL ATTIC SPACES ARE UNINHABITABLE UNLESS NOTED OTHERWISE.
- 9) CONTRACTOR TO VERIFY ALL DIMENSIONS AND NOTIFY AECS IMMEDIATELY UPON DISCOVERING ANY DISCREPANCIES.
- 10) CONTACT PLANNING (BUILDING) DEPARTMENT FOR A SCHEDULE OF INSPECTIONS.
- 11) AECS IS NOT RESPONSIBLE FOR INSPECTIONS, QUALITY CONTROL OR QUALITY ASSURANCE DURING CONSTRUCTION. THE CONTRACTOR MAY CHOOSE TO USE AN INDEPENDENT TESTING FIRM SHOULD THE TESTING BE REQUIRED.
- 12) AECS RESERVES THE RIGHT TO VOLUNTARILY INSPECT CONSTRUCTION AT GIVEN TIME.
- 13) ROOF TIE-INS SHALL BE LOCATED SO THAT ROOF RAFTER ALLOWABLE SPAN ARE NOT EXCEEDED. TRUSS MANUFACTURER SHALL BE NOTIFIED OF TIE-IN LOCATION IF TRUSSES ARE TO BE INCLUDED AS PART OF THE ROOF FRAMING SYSTEM.
- 14) ALL ROOF SLOPES NOT TO EXCEED 12":12" UNLESS NOTED ON PLANS.
- 15) ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION.

FOUNDATION NOTES:

- 1) SOIL SUPPORTING FOUNDATIONS SHALL BE FREE OF VEGETATIVE MATERIAL AND HAVE BEARING CAPACITY OF 1,500 PSF UNLESS OTHERWISE NOTED, SOIL CLASS F USED IN DESIGN.
- 2) SOIL SUPPORTING FOUNDATIONS SHALL BE WET AS APPLICABLE AND COMPACTED WITH THE MOST PRACTICAL EQUIPMENT (JUMPING JACK, PLATE COMPACTOR, ROLLER, ETC.)
- 3) ALL FOUNDATIONS TO UTILIZE 3,000 PSI CONCRETE U.N.O.
- 4) ALL CONTINUOUS CONCRETE FOUNDATIONS SHALL BE REINFORCED WITH A MINIMUM OF TWO (2) HORIZONTAL REINFORCING BARS (REBAR) SIZED OF NO. 4 AS A MINIMUM.
- 5) ALL REBAR SHALL HAVE A YIELD STRENGTH OF 60,000 PSI ($F_y = 60,000$ PSI).
NOTE THAT 60 KSI IS EQUAL TO 60,000 PSI.
- 6) PLACE ALL REBAR ADJACENT TO EARTHEN MATERIAL SO THAT A MINIMUM CONCRETE COVER OF 3" EXISTS BETWEEN REBAR AND EARTHEN MATERIAL.
- 7) PLACE ALL REBAR SO THAT ALL THERE IS A MINIMUM OF 2" CONCRETE COVER IN ALL OTHER AREAS NOT PREVIOUSLY SPECIFIED U.N.O.
- 8) ALL REBAR SPLICES TO BE MINIMUM OF 24" IN LENGTH U.N.O.
- 9) ALL ANCHOR BOLTS SHOULD BE WET SET U.N.O. ALL ANCHOR BOLTS SHALL BE A MINIMUM SIZE OF 1/2"Ø AND OF MATERIAL SPECIFIED ON SHEET S1. MUD SILL ANCHORS, BY SIMPSON STRONG TIE MASB OR EQUAL, MAY BE USED IN PLACE OF ANCHOR BOLTS.
- 10) ALL WOOD SILLS SHALL BE TREATED AND INSTALLED WITH APPROVED ANCHOR BOLT, STRAP, OR OTHER POSITIVE CONNECTION.
- 11) ALL ANCHOR BOLTS CONNECTING WOOD SILL, BOTTOM PLATE, ETC. SHALL HAVE A 3"x3"x0.229" PLATE WASHER INSTALLED UNDER EVERY NUT.
- 12) ALL ANCHOR BOLTS, CONNECTIONS, ETC. EXPOSED TO OUTDOOR WEATHER AND/OR FLOODING SHALL BE GALVANIZED.
- 13) WHERE BRICK IS USED UNDER LOAD-BEARING EXTERIOR WALLS, REFERENCE IRC 2012 SECTION R404.1.5.3.
A 4" NOMINAL BRICK THICKNESS (3 3/8" ACTUAL) SHALL BE BONDED INTEGRALLY WITH CMU CURTAIN WALL ACCORDING IRC SECTION R606.9.
- 14) IRC 2012 SECTION 606.9 REQUIRES LATERAL HORIZONTAL REINFORCEMENT BETWEEN BLOCKS AND EXTENDS TO BRICK WHEN BRICK IS USED AS PART OF LOAD BEARING FOUNDATION. BRICK SHOULD BE 4" NOMINAL (3 3/8" MIN. ACTUAL THICKNESS).



WOOD FRAMING NOTES:

- 1) USE FRAMING CONNECTIONS SPECIFIED IN THESE DRAWINGS. IF NO CONNECTIONS OR FASTENERS ARE SPECIFICALLY SPECIFIED, CONTRACTOR TO USE IRC 2012 FOR FRAMING AND FASTENING REQUIREMENTS.
- 2) ALL EXPOSED FRAMING MEMBERS TO BE TREATED WOOD WITH MINIMUM OF 0.6 CCA FOR GROUND CONTACT AND 0.4 CCA FOR CONCRETE OR MASONRY CONTACT.
- 3) SST ABBREVIATION IS FOR SIMPSON STRONG TIE AND USP ABBREVIATION IS FOR USP CONNECTORS. GALVANIZED OR STAINLESS STEEL TO BE USED FOR EXPOSED CONNECTIONS. EITHER MANUFACTURER IS ACCEPTABLE PROVIDING CAPACITY OF SUBSTITUTED MODEL IS OF EQUAL OR GREATER CAPACITY THAN THAT SPECIFIED.
- 5) MEMBER SIZES AND FASTENING REQUIREMENTS ARE SHOWN WITHIN THIS PLAN SET.
- 6) MEMBER SPACINGS CAN BE LESS THAN SPECIFIED IN PLANS BUT NEVER MORE WITHOUT CONSULTING AECS.
- 7) WHEN SPECIFIC MEMBER SIZES, SPACINGS, OR CONNECTIONS ARE NOT SHOWN, CONSTRUCTION MAY BE PRESCRIPTIVE AS ALLOWED IN IRC 2012.
- 8) TEMPORARY SUPPORTS, BRACES DURING CONSTRUCTION, ETC. ARE RESPONSIBILITY OF THE CONTRACTOR.
- 9) NAILING SCHEDULE TO BE USED FOR ALL CONNECTIONS EXCEPT WHERE NOTED IN DETAILS.
- 10) ALL EXPOSED FRAMING MEMBERS TO BE TREATED WOOD WITH MINIMUM OF 0.6 CCA FOR GROUND CONTACT AND 0.4 CCA FOR CONCRETE OR MASONRY CONTACT.
- 11) ALL FRAMING CONNECTIONS EXPOSED TO WEATHER AND/OR FLOODING SHALL BE GALVANIZED.
- 12) DOUBLE ALL FLOOR JOISTS UNDER INTERIOR/EXTERIOR WALLS

CONCRETE MASONRY NOTES:

- 1) ALL CONTINUOUS CMU BLOCK SHALL BE LAID IN RUNNING BOND PATTERN (ALL ADJACENT VERTICAL JOINTS TO BE OFFSET). ALL JOINTS TO BE GROUTED WITH 3/8" JOINTS WITH TOLERANCES AS SPECIFIED IN IRC 2012.
ALL JOINTS TO BE GROUTED AT ALL FACES AND WEBS.
- 2) MORTAR SHALL BE TYPE M OR S AS PER IRC SECTION 607.1.3 WITH MORTAR JOINT THICKNESS TOLERANCE:
BED JOINT: + 1/8", HEAD JOINT: 1/4" TO 3/8", COLLAR JOINTS: 1/4" TO 3/8"
- 3) HORIZONTAL JOINT REINFORCEMENT SHALL CONSIST OF AT LEAST TWO LONGITUDINAL W1.7 WIRES SPACED NOT GREATER THAN 16" O.C. AND ONE SHALL BE LOCATED AT BOTH THE TOP AND BOTTOM JOINTS OF THE CMU COLUMN.
- 4) LOCATE A NO. 4 VERTICAL REBAR WITHIN 16" OF EACH END OF MASONRY WALL.
- 5) NOTE 3 ABOVE SHALL ALSO APPLY TO ANY CMU WALLS SHOWN ON PLANS.

CONCRETE NOTES:

- 1) DO NOT PLACE CONCRETE ON VEGETATIVE MATERIAL, LOOSE ROCKS, OR OTHER DEBRIS.
- 2) CONCRETE STRENGTH REQUIRED ABOVE 3,000 PSI TO BE TESTED.
- 3) CONTRACTOR TO KEEP CONCRETE TICKETS.
- 4) ALL CONCRETE TO HAVE 28 DAY STRENGTH OF 3,000 PSI U.N.O.
- 5) ALL CONCRETE FILL IN CMU SHALL BE STRUCTURAL GROUT OR PEA GRAVEL CONCRETE.
- 6) NO CONSTRUCTION LOADS, INCLUDING DEPENDENT FRAMING OR ANY FORMWORK MAY BE PLACED ON CONCRETE FOR 3 DAYS TO ALLOW FOR PROPER CURE TIME.
- 7) ALL FOUNDATIONS SHALL BE REINFORCED U.N.O. ALL CONCRETE SHALL BE POURED IN PLACE NO PRECAST CONCRETE SHALL BE USED UNLESS PRIOR WRITTEN APPROVAL IS GIVEN BY AECS.
- 8) CONCRETE SHALL NOT BE USED IF NOT PLACED WITHIN TWO HOURS OF BEING BATCHED.
- 9) SLUMP AND AIR CONTENT SHALL BE DETERMINED BY CONCRETE PRODUCER. ALL CONCRETE SPECIFIED WITHIN THESE PLANS SHALL BE CONSIDERED NORMAL MIX AND NORMAL WEIGHT.
- 10) ALL CONTINUOUS CONCRETE FOUNDATIONS SHALL BE REINFORCED WITH A MINIMUM OF FOUR (4) HORIZONTAL REINFORCING BARS (REBAR) SIZED OF NO. 4 AS A MINIMUM. ALL LOCATIONS WHERE A VERTICAL REBAR, SPECIFIED CONNECTION STRAP, OR ANCHOR BOLT EXIST SHALL HAVE ONE (1) CROSS PIECE OF NO. 4 REBAR TIED TO ALL INTERSECTING PIECES OF HORIZONTAL REBAR.
- 11) ALL REBAR SHALL HAVE A YIELD STRENGTH OF 60,000 PSI ($F_y = 60,000$ PSI).
NOTE THAT 60 KSI IS EQUAL TO 60,000 PSI.
- 12) PLACE ALL REBAR ADJACENT TO EARTHEN MATERIAL SO THAT A MINIMUM CONCRETE COVER OF 3" EXISTS BETWEEN REBAR AND EARTHEN MATERIAL.
- 13) PLACE ALL REBAR SO THAT THERE IS A MINIMUM OF 2" CONCRETE COVER IN ALL OTHER AREAS NOT PREVIOUSLY SPECIFIED U.N.O.
- 14) ALL REBAR SPLICES TO BE MINIMUM OF 24" IN LENGTH U.N.O.
- 15) DO NOT USE HEAT TO BEND REINFORCING REBAR. DO NOT DAMAGE BAR DURING BENDING.
- 16) NO SPECIAL INSPECTIONS ARE REQUIRED DUE TO CONCRETE WAS DESIGNED FOR 2500 PSI STRENGTH.

SPAULDING HEIGHTS RECREATION
CENTER ADDITION
FLORENCE, SC
GENERAL NOTES

ATLANTIC ECS, LLC
1850 S. PAMPLICO HWY.
PAMPLICO, SC 29583
PHONE: (843) 676-5392

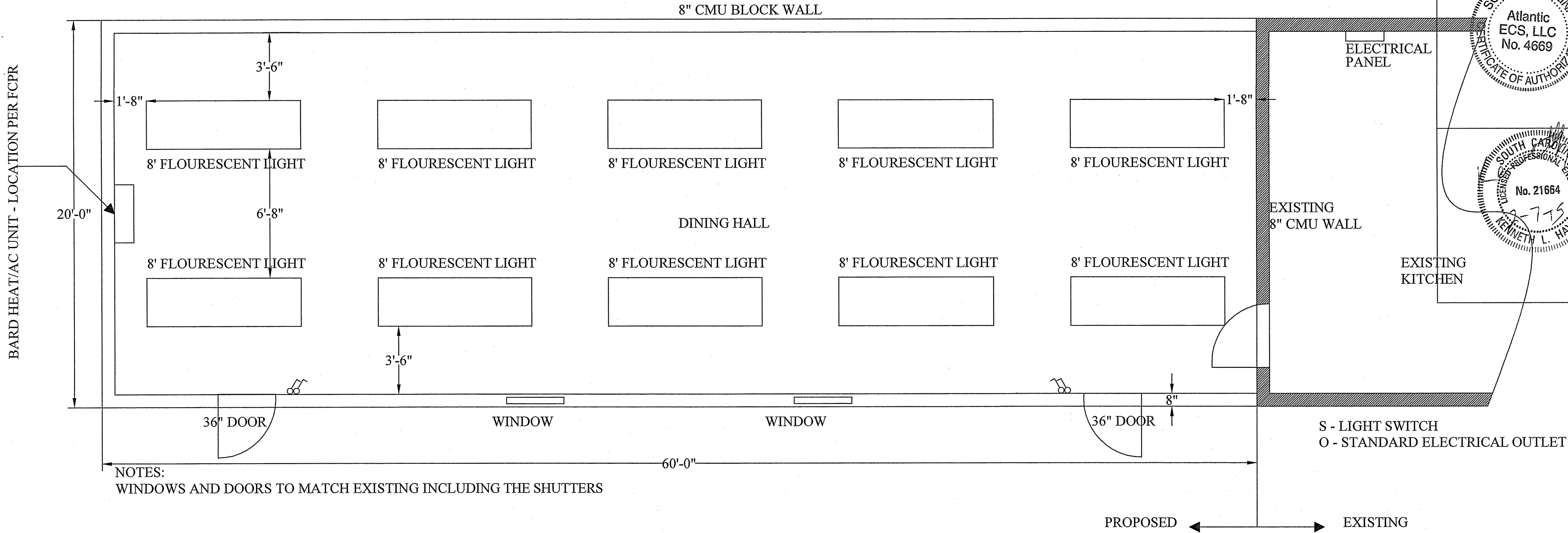
CONSTRUCTION PLANS

PROJECT NO.: 1523

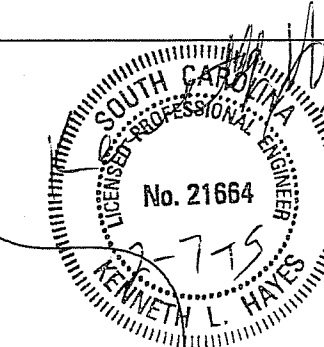
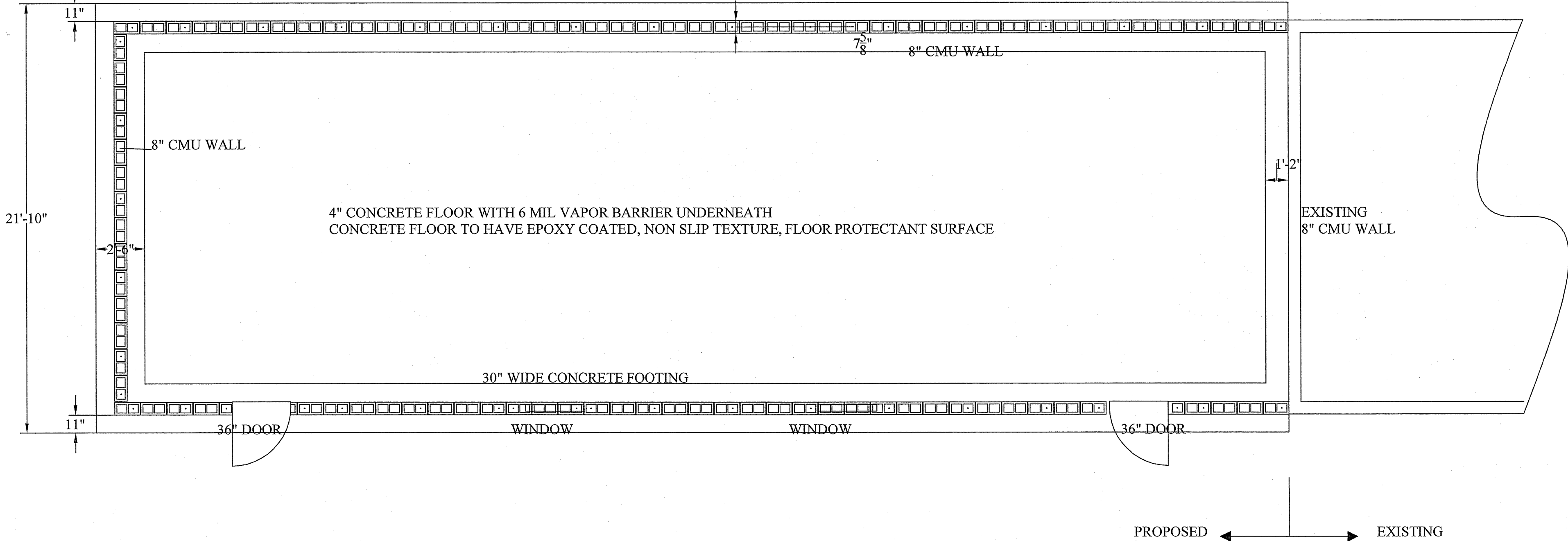
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S2

PROPOSED LAYOUT & LIGHTING PLAN



FOOTING, FLOOR, & WALL PLAN



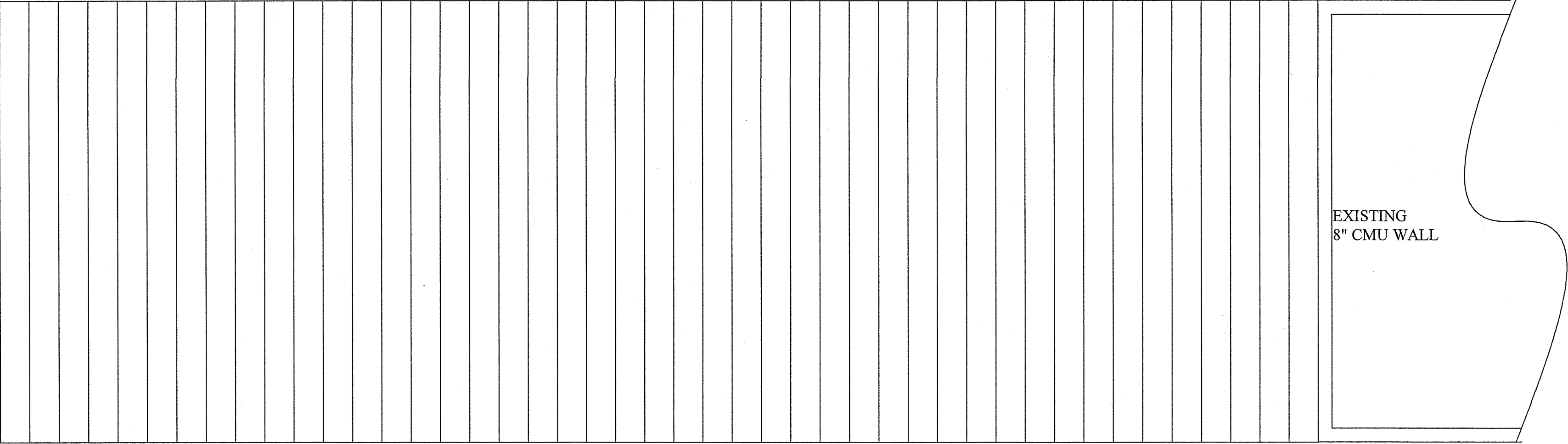
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SPAULDING HEIGHTS RECREATION
CENTER ADDITION
FLORENCE, SC
FOOTING, FLOOR, & WALL PLANS

ATLANTIC ECS, LLC
1850 S. PAMPLICO HWY.
PAMPLICO, SC 29583
PHONE: (843) 676-5392
CONSTRUCTION PLANS
PROJECT NO.: 1523

SHEET NUMBER:
S3

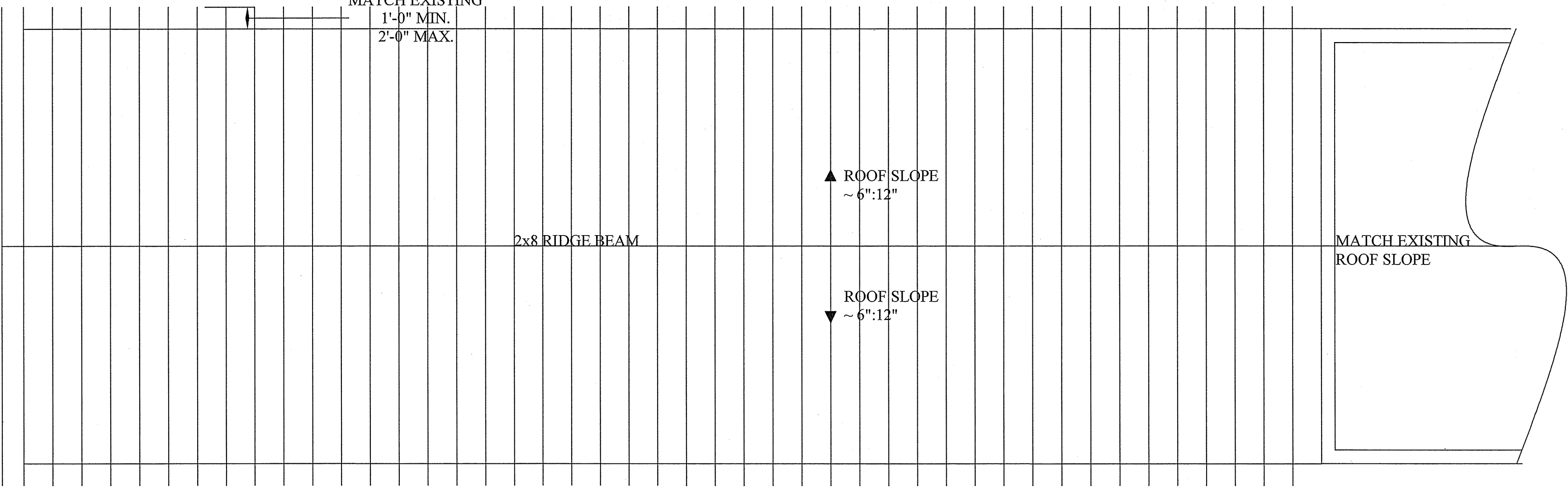
CEILING JOIST FRAMING PLAN



CEILING JOISTS ARE 2x10, 16" O.C.

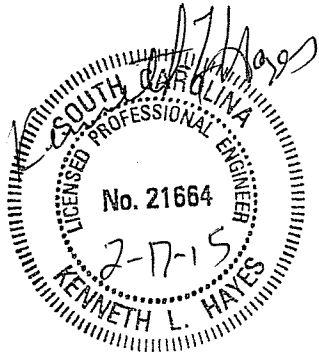
PROPOSED ← → EXISTING

RAFTER FRAMING PLAN



ROOF RAFTERS ARE 2x6, 16" O.C.

PROPOSED ← → EXISTING



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SPAULDING HEIGHTS RECREATION
CENTER ADDITION
FLORENCE, SC
ROOF FRAMING PLAN

ATLANTIC ECS, LLC
1850 S. PAMPLICO HWY.
PAMPLICO, SC 29583
PHONE: (843) 676-5392

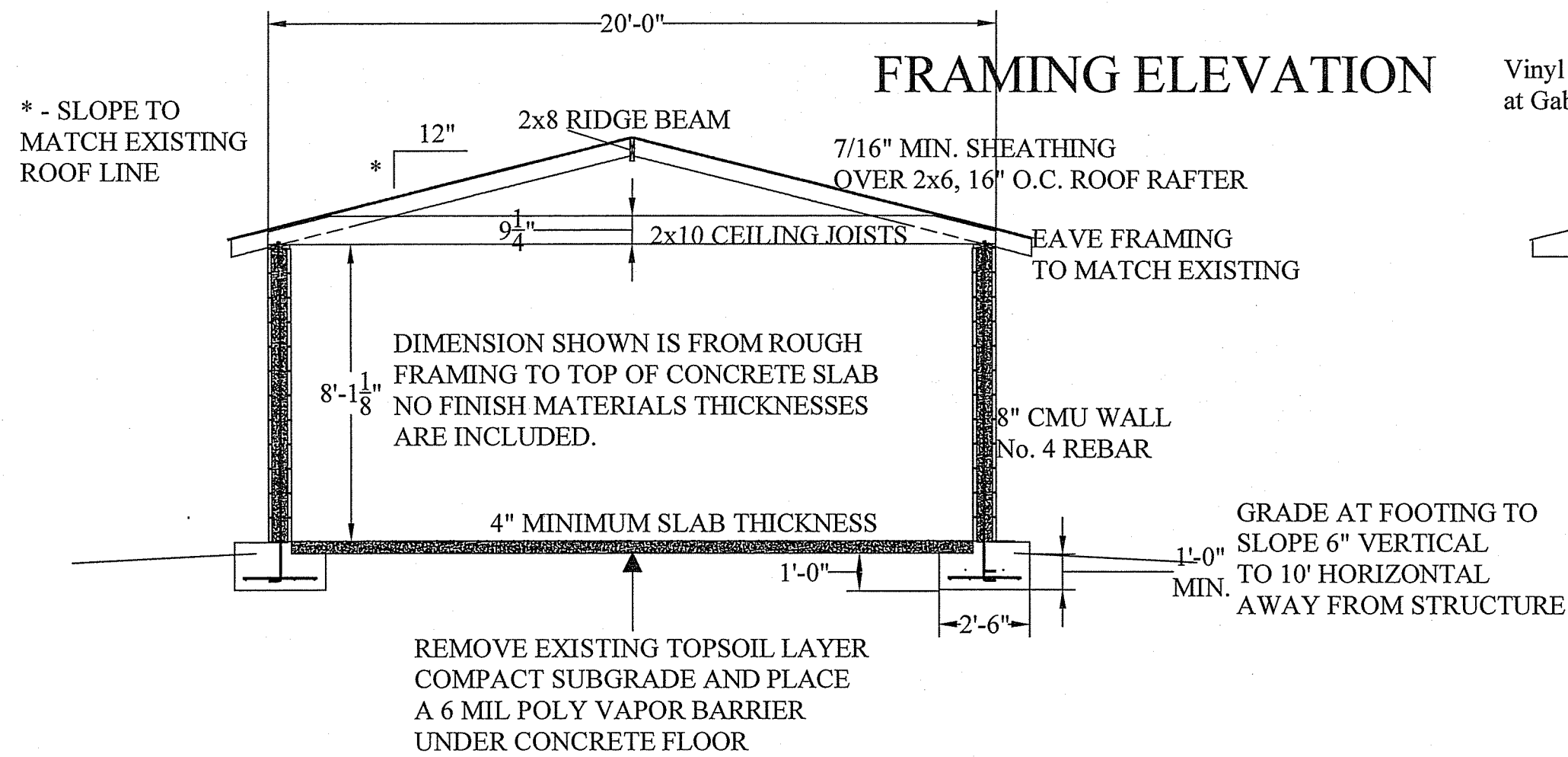
CONSTRUCTION PLANS

PROJECT NO.: 1523

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S4

SCALE: 1/4" : 1'-0"

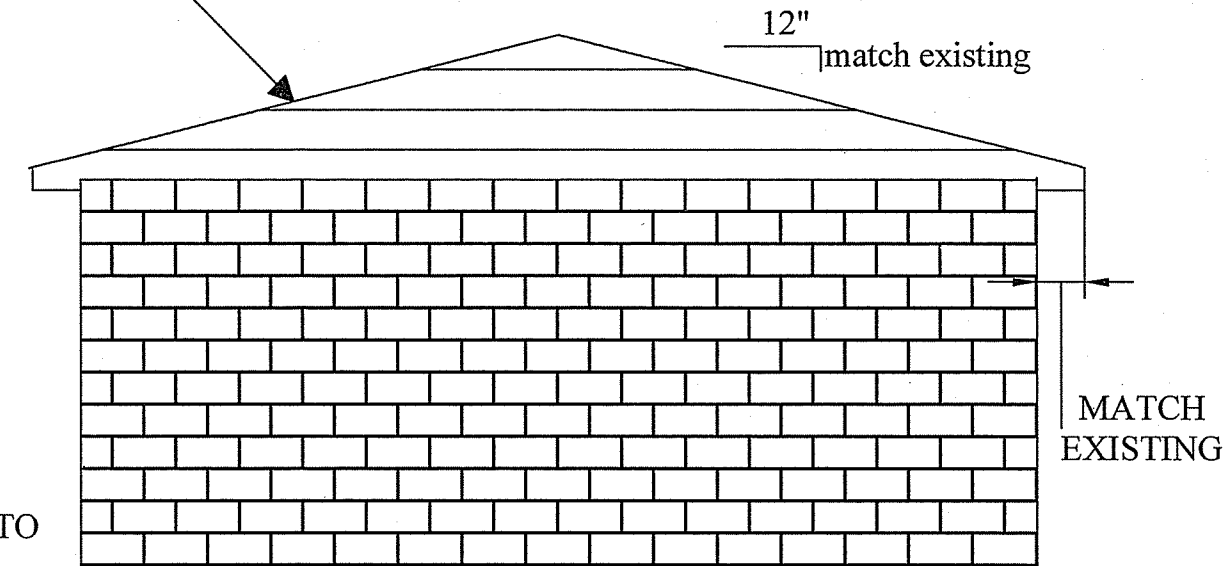
ALL CONSTRUCTION WORK TO COMPLY WITH OSHA RULES AND REGULATIONS.



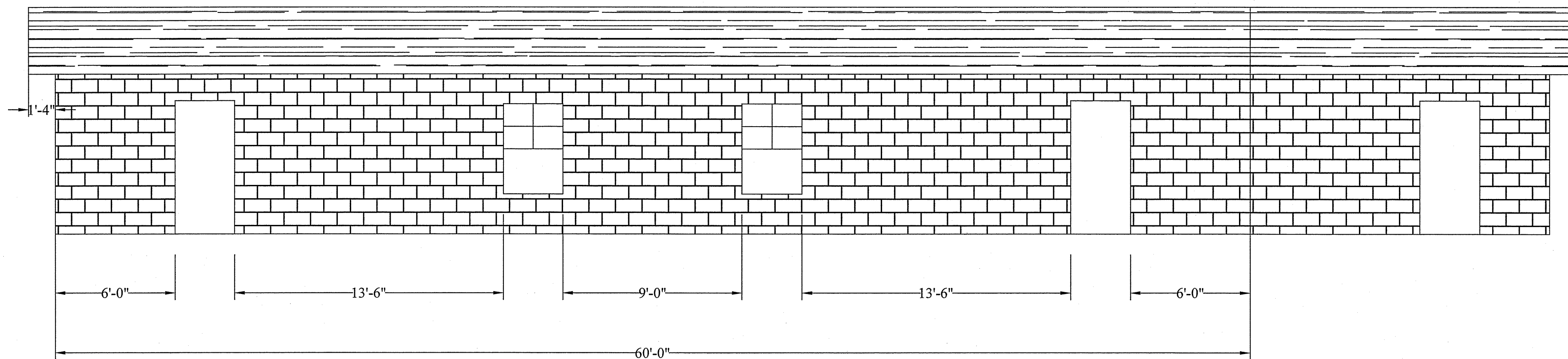
FRAMING ELEVATION

Vinyl Siding at Gable End

LEFT SIDE ELEVATION

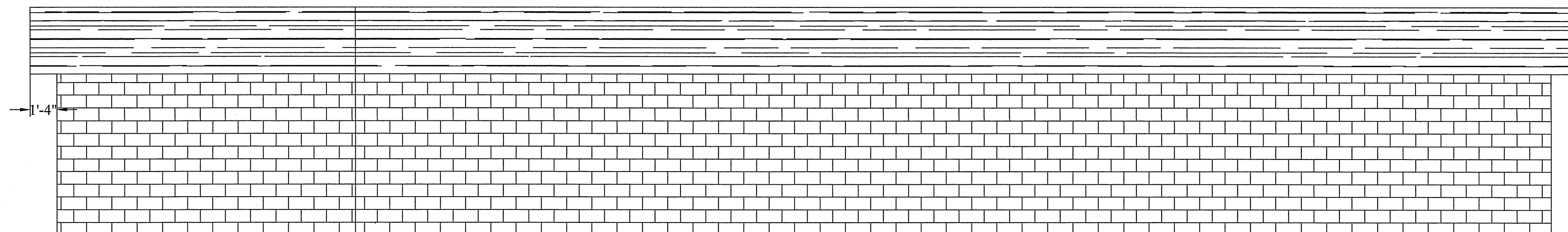


FRONT VIEW ELEVATION

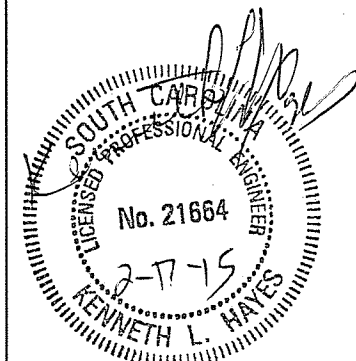


EXISTING PROPOSED

REAR VIEW ELEVATION



SCALE: 1/4" = 1'-0"



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SPAULDING HEIGHTS RECREATION
CENTER ADDITION
FLORENCE, SC
ELEVATIONS

ATLANTIC ECS, LLC
1850 S. PAMPLICO HWY.
PAMPLICO, SC 29583
PHONE: (843) 676-5392

CONSTRUCTION PLANS

PROJECT NO.: 1523

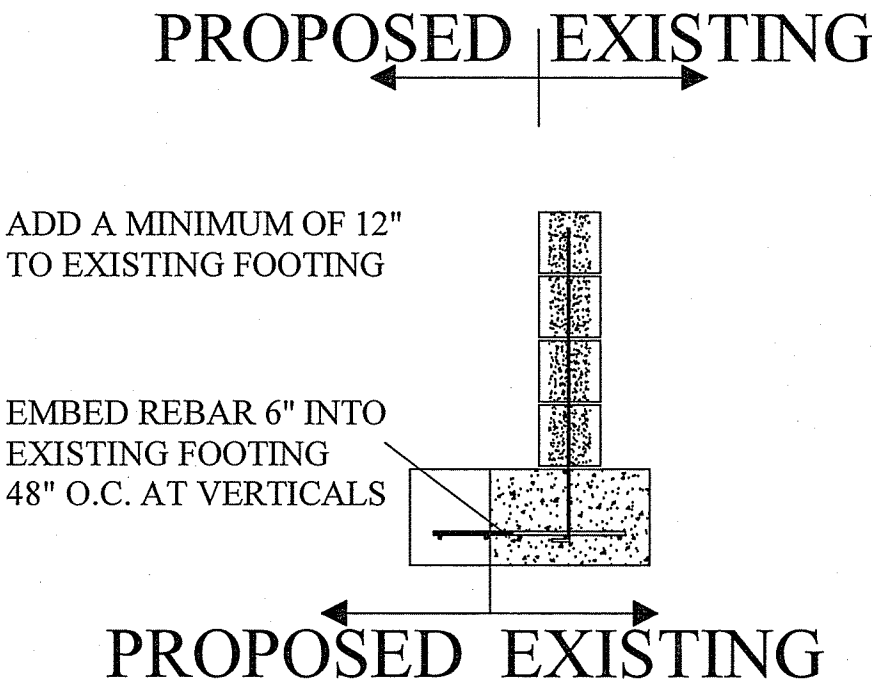
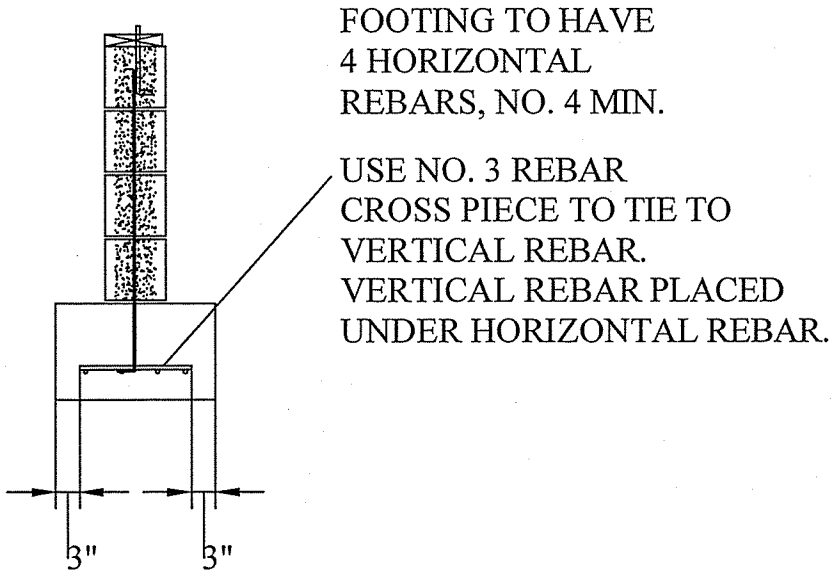
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S5

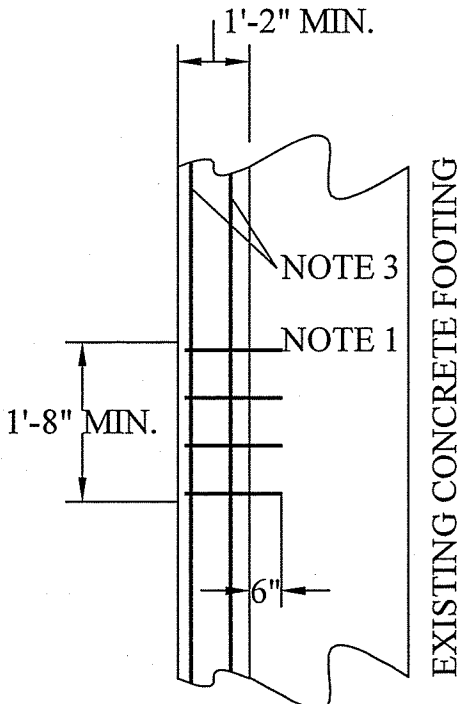
FOUNDATION NOTES:

- 1) ALL FOOTINGS TO BE 12" THICK AND 20" WIDE OF 3,000 PSI CONCRETE
- 2) REFERENCE ELEVATION DETAILS FOR CONSTRUCTION OF 4" CONCRETE SLAB.
- 3) ALL CONTINUOUS FOOTINGS TO HAVE FOUR MINIMUM CONTINUOUS HORIZONTAL NO. 4 REBAR. SPLICES ARE 2'-0" IN LENGTH MINIMUM.
- 3) 8" CMU WALL TO HAVE ONE VERTICAL NO. 4 REBAR 48" O.C., 16" FROM EACH CORNER ON EACH WALL, AND AT EACH SIDE OF OPENINGS.
- 4) INSTALL BOND BEAMS EVERY FOUR VERTICAL FEET OF WALL HEIGHT. BOND BEAMS TO BE REINFORCED WITH 2- NO.5 HORIZONTAL REBAR.
- 5) INSTALL A BOND BEAM OVER ALL DOORS AND WINDOWS. BOND BEAMS TO BE REINFORCED WITH 2- NO.5 HORIZONTAL REBAR.
- 6) INSTALL ANCHOR BOLTS AT 4' O.C. SPACING WITH 3"x3"x0.229" GALVANIZED PLATE WASHER AND STANDARD WASHER AND NUT OVER TREATED 2x8 SILL.
- 7) TIE ANCHOR BOLTS TO BOND BEAM REBAR.
- 8) TIE VERTICAL REBAR TO HORIZONTAL REBAR IN BOND BEAMS.
- 9) ALL VERTICAL REBAR TO HAVE BEND TIED TO HORIZONTAL FOOTING REBAR.
- 10) ALL HORIZONTAL REBAR IN FOOTING TO HAVE A HORIZONTAL CROSS PIECE OF NO. 3 REBAR TIED TO ALL HORIZONTAL REBAR. SEE DETAIL.

DO NOT USE HEAT TO BEND BARS
DO NOT DAMAGE BARS DURING BENDING

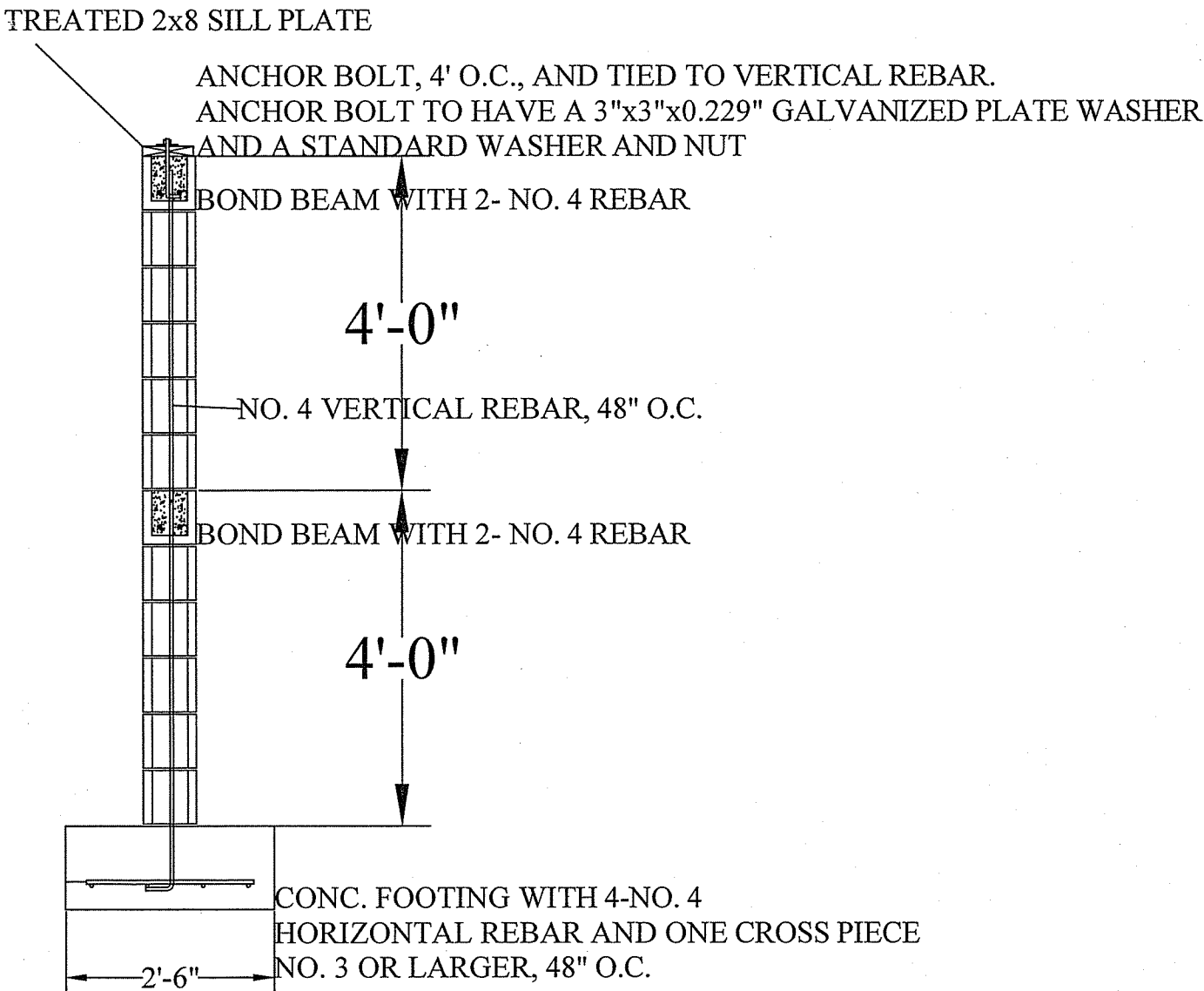


TIE INTO EXISTING REBAR DETAIL

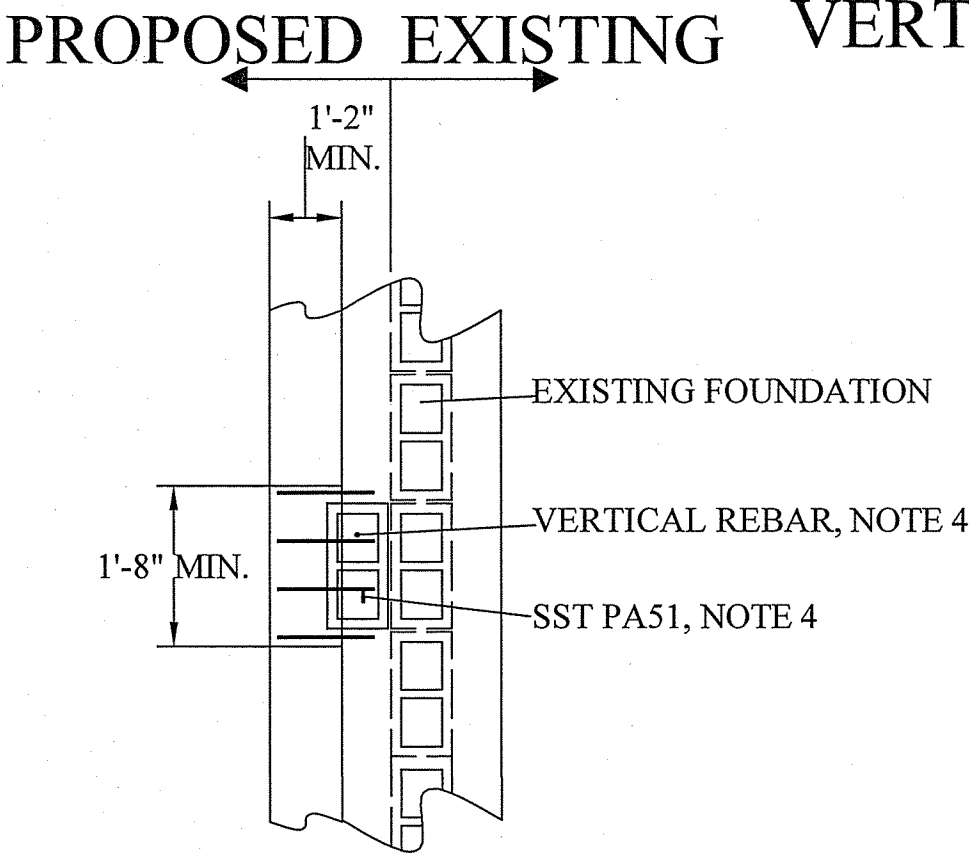


- 1) DRILL HOLE FOR 1/2" REBAR 6" INTO EXISTING FOOTING
- 2) INSTALL REBAR AND EPOXY PER MANUFACTURER RECOMMENDATIONS
- 3) INSTALL A MINIMUM OF TWO NO. 4 HORIZONTAL REBAR (PERPENDICULAR TO EPOXIED REBAR AFTER EPOXY HAS SET AND CURED.

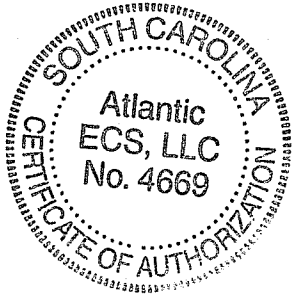
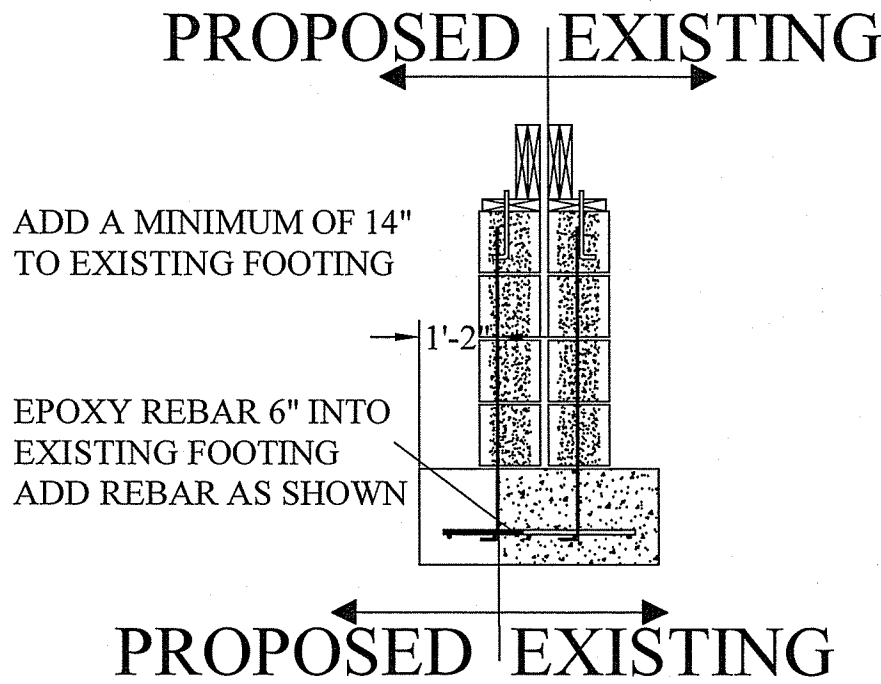
TYPICAL MASONRY WALL DETAIL



TIE INTO EXISTING VERTICAL REBAR & STRAP DETAIL



- 4) INSTALL, IN SEPERATE CELLS, ONE NO.4 VERTICAL REBAR AND ONE SST PA51 STRAP UNDER HORIZONTAL REBAR
- 5)A 1" FULLY GROUTED GAP MAY BE APPLIED BETWEEN EXISTING AND NEW CMU BLOCK
- 6) FILL BOTH CELLS WITH 3000 PSI CONCRETE OR STRUCTURAL GROUT
- 7) CMU BLOCK TO HAVE HORIZONTAL REINFORCEMENT BETWEEN BLOCKS AS IN TYPICAL DETAILS AND PER IRC 2012
- 8) THIS DETAIL MAY BE APPLIED FOR A PIER FOUNDATION ADJACENT TO AN EXISTING FOUNDATION



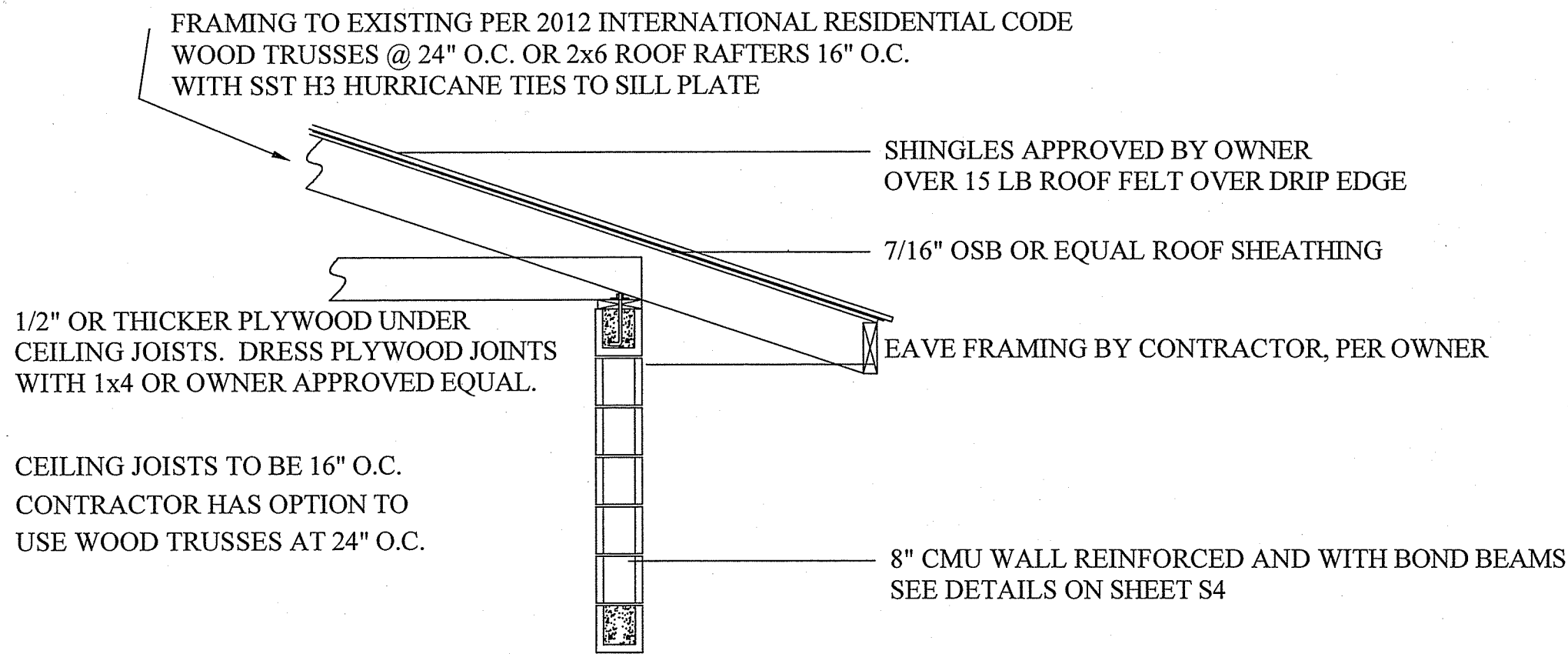
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SPAULDING HEIGHTS RECREATION
CENTER ADDITION
FLORENCE, SC
FOOTING & WALL DETAILS

ATLANTIC ECS, LLC
1850 S. PAMPLICO HWY.
PAMPLICO, SC 29583
PHONE: (843) 676-5392
CONSTRUCTION PLANS
PROJECT NO.: 1523

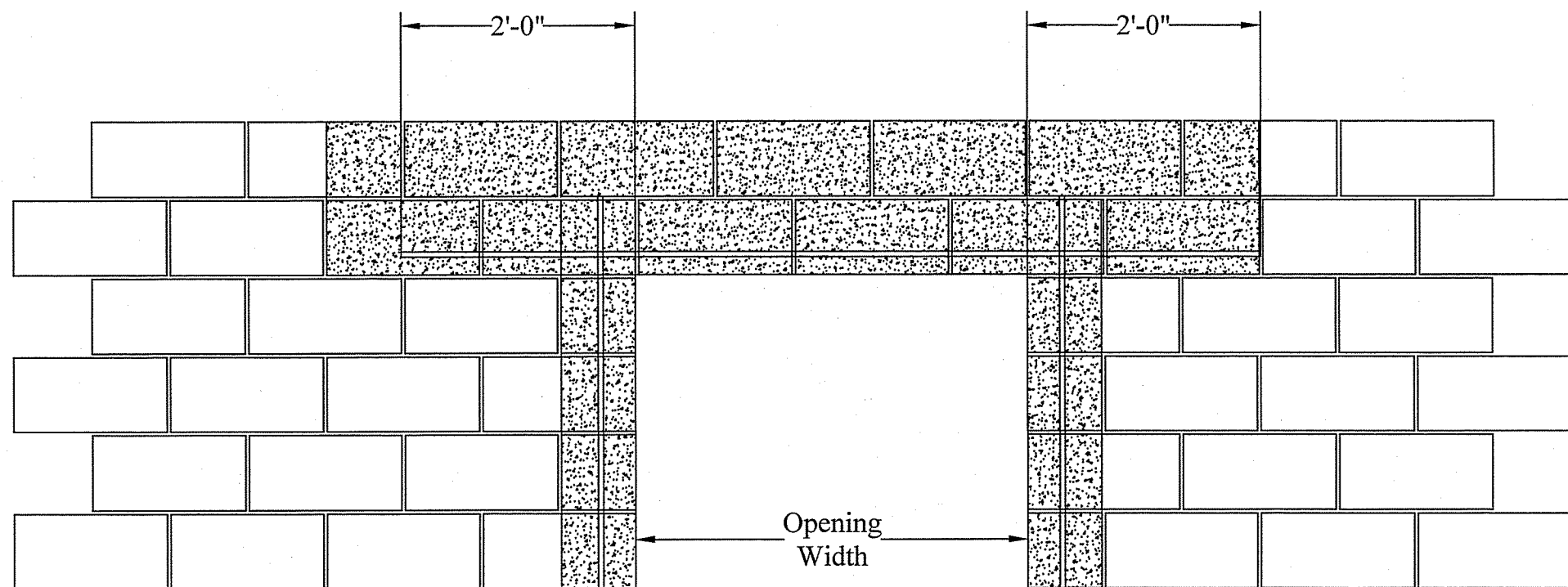
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S6



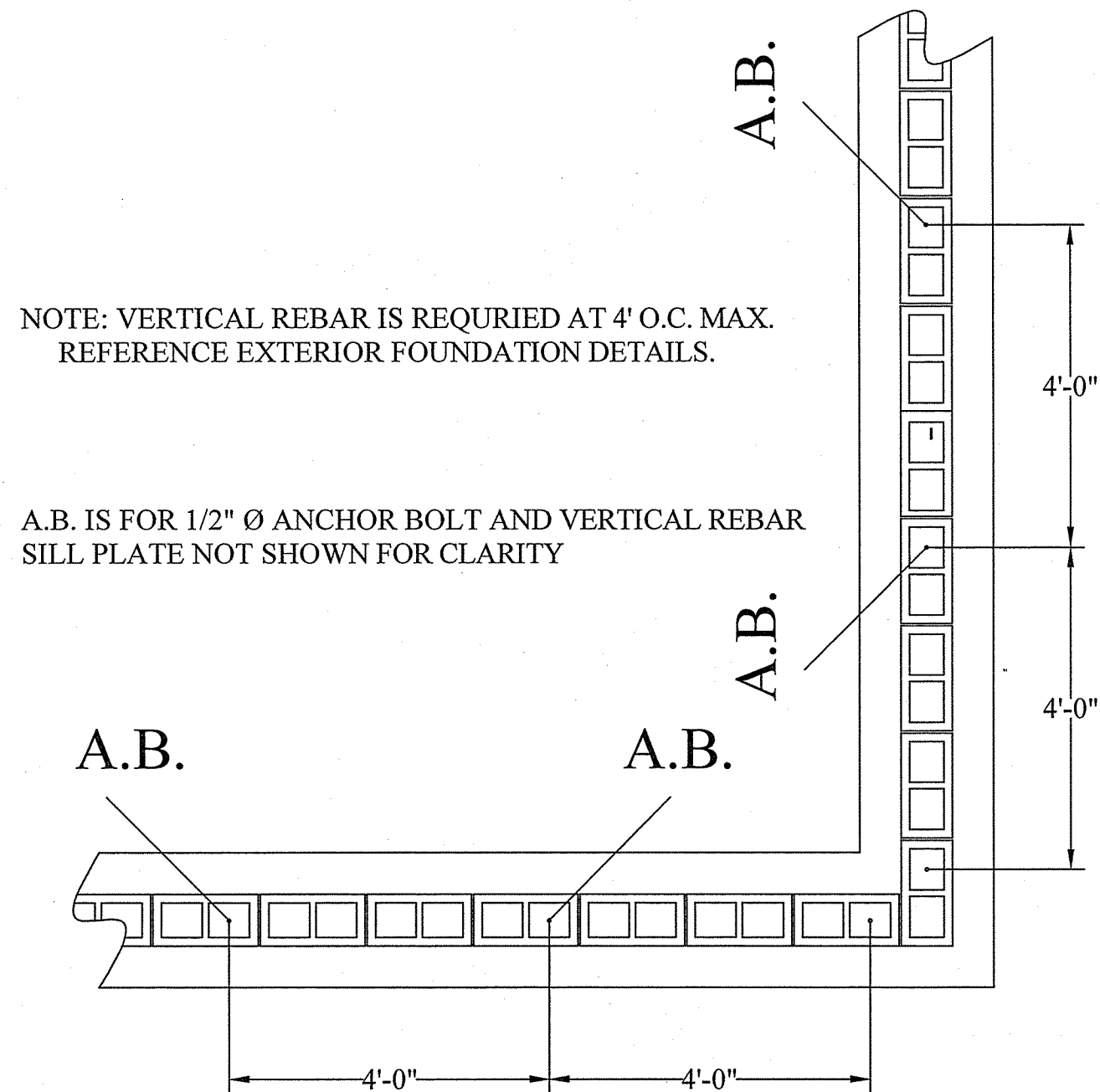
TYPICAL ROOF FRAMING DETAIL

- 8" CONCRETE MASONRY UNIT (CMU) WALL NOTES:
- 1) ALL OPENINGS IN MASONRY WALLS SHALL HAVE A BOND BEAM ON TOP & BOTTOM OF OPENINGS AND SHALL HAVE VERTICAL REINFORCEMENT OF ONE NO. 4 BAR IN EACH ADJACENT CELL TO OPENING.
 - 2) ALL OPENINGS SHALL HAVE BOND BEAM AND REINFORCEMENT OF 2' ON EACH SIDE OF OPENING AS SHOWN IN DETAIL.
 - 3) ALL VERTICAL REINFORCEMENT SHALL BE CONTINUOUS AND SHALL TERMINATE AT TOP OF BOND BEAM.
 - 4) ALL INTERSECTING REBAR SHALL BE TIED.
 - 5) ALL VERTICAL REBAR SHALL BE TIED TO HORIZONTAL REINFORCEMENT IN FOOTING.
 - 6) ALL BOND BEAMS, SPACED AT 4'-0" O.C. INTERRUPTED BY OPENINGS SHALL BE TIED TO VERTICAL REINFORCEMENT OF OPENING.
 - 7) CMU WALLS SHALL HAVE HORIZONTAL JOINT REINFORCEMENT OF AT LEAST 9 GAUGE, EVERY TWO BLOCK COURSES
 - 8) CMU WALL INTERSECTIONS SHALL HAVE JOINT REINFORCEMENT OF AT LEAST 9 GAUGE, EVERY VERTICAL BLOCK COURSE AND SHALL EXTEND 30" MINIMUM LENGTH INTO EACH DIRECTION.
 - 9) ALL WALLS SHALL HAVE VERTICAL REBAR SPACING OF ONE NO. 4 AT 32" O.C.
 - 10) ALL VERTICAL AND HORIZONTAL REBAR SHALL BE FILLED WITH 2,500 PSI CONCRETE OR STRUCTURAL GROUT.
 - 11) ALL BOND BEAMS ARE TO BE TWO BLOCKS IN HEIGHT AND SHALL HAVE TWO NO. 4 HORIZONTAL REBAR.
 - 12) TYPICAL BOND BEAMS FOR LATERAL SUPPORT AND FOR OPENINGS EQUAL OR LESS THAN 3'-0" IN WIDTH ARE TO BE ONE BLOCK IN HEIGHT.



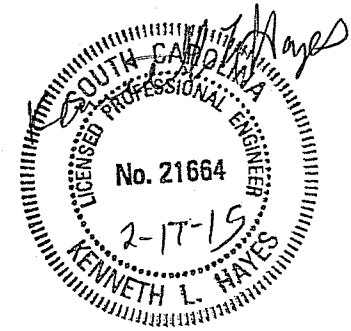
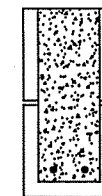
TYPICAL DETAIL FOR OPENINGS FROM 3'-0" TO 6'-8" IN LENGTH.

TYPICAL CORNER WALL REINFORCEMENT



TYPICAL BOND BEAM

8" x 16" BOND BEAM - 2 COURSES
WITH TWO (2) NO. 4 HORIZONTAL REBAR



SPAULDING HEIGHTS RECREATION
CENTER ADDITION
FLORENCE, SC
WALL & FRAMING DETAILS

ATLANTIC ECS, LLC
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PAMPLICO, SC 29583
PHONE: (843) 676-5392

CONSTRUCTION PLANS

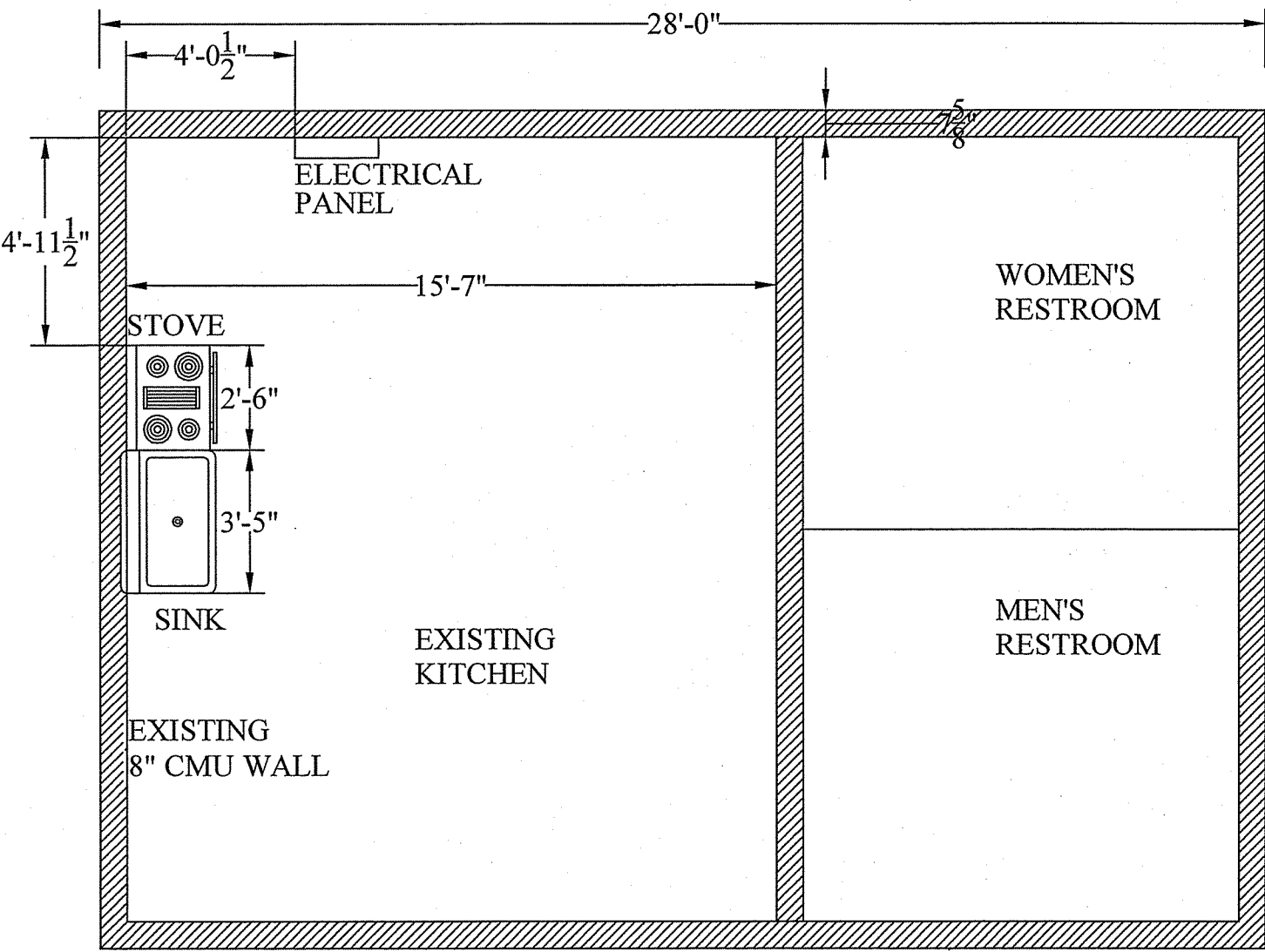
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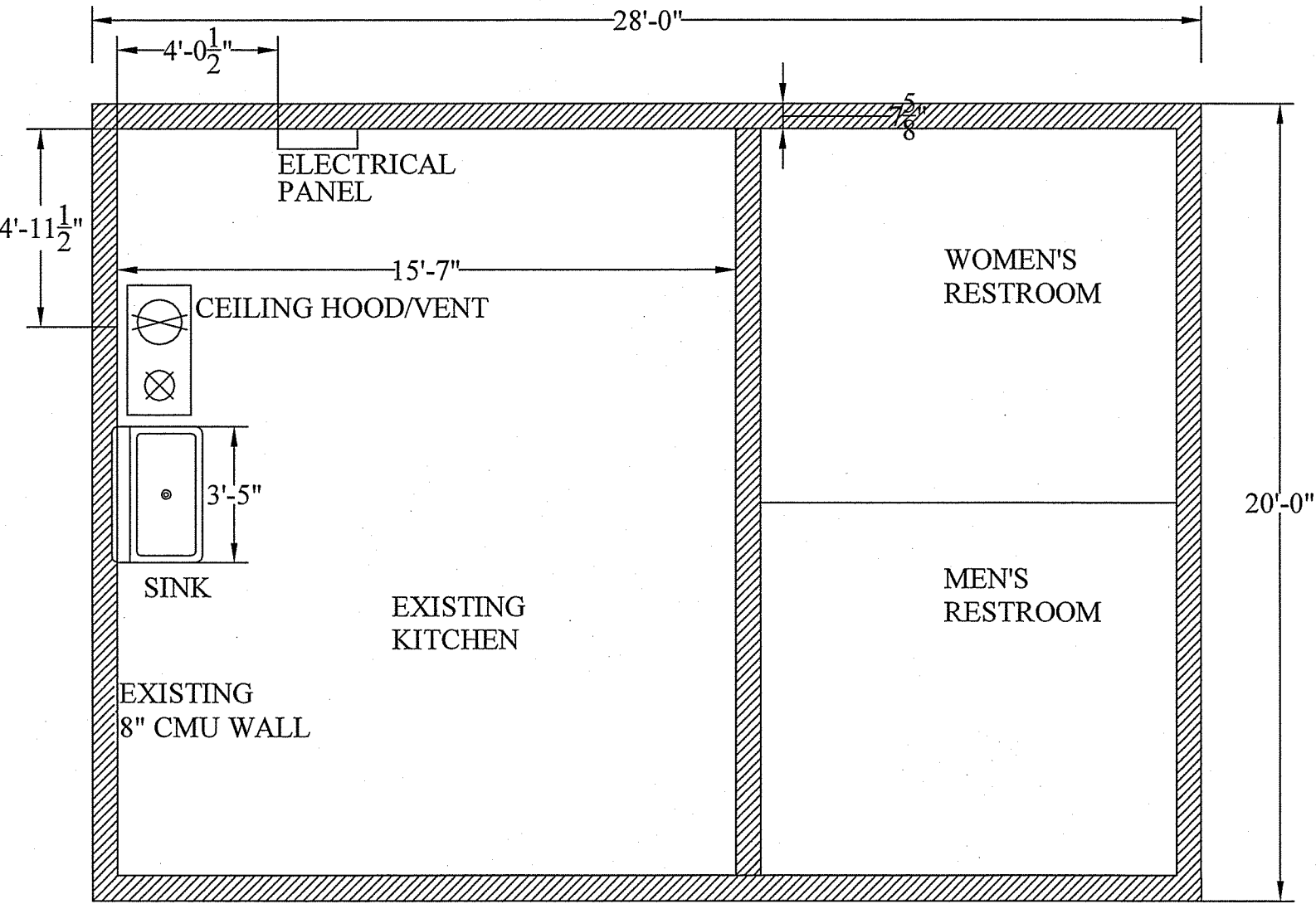
NOT TO SCALE

EXISTING KITCHEN LAYOUT



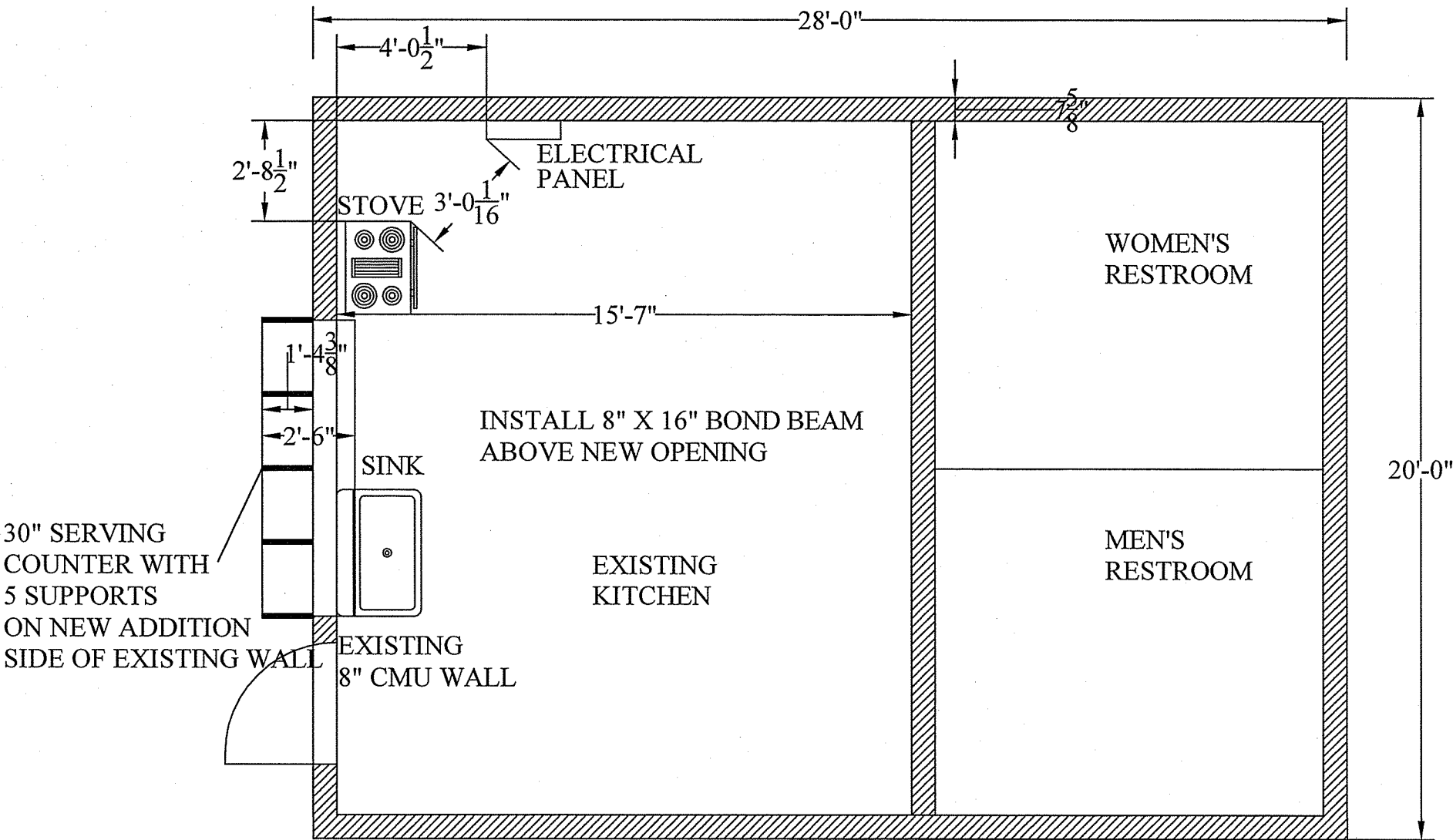
IMPROVEMENTS AS NOTED WITHIN THIS PLAN SET. NO IMPROVEMENTS

EXISTING KITCHEN LAYOUT



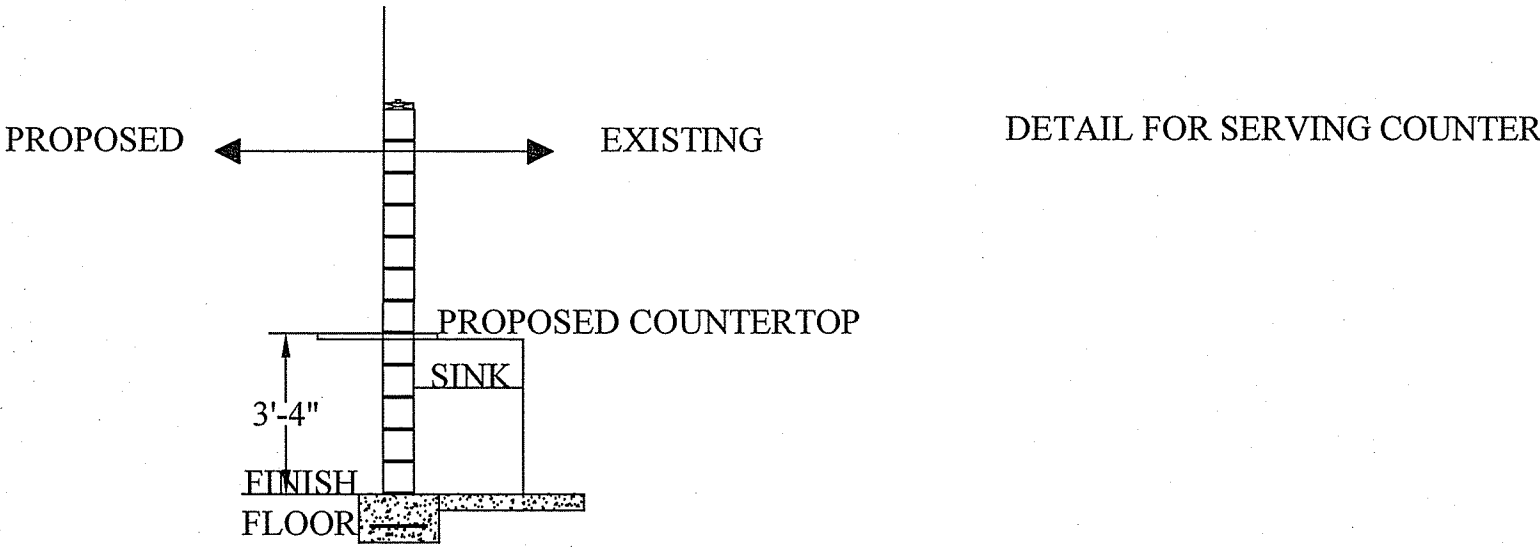
IMPROVEMENTS AS NOTED WITHIN THIS PLAN SET. NO IMPROVEMENTS

EXISTING KITCHEN REMODEL

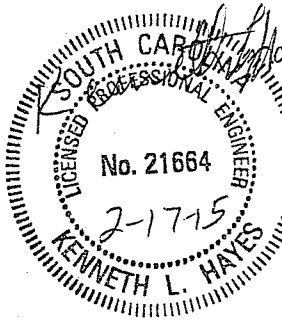


IMPROVEMENTS AS NOTED WITHIN THIS PLAN SET. NO IMPROVEMENTS

SCALE: 1/4" = 1'-0"



- REMODELING SCOPE OF WORK:
- 1) ADD ON DOOR BETWEEN EXISTING AND PROPOSED SECTIONS
 - 2) ADD OPEN SERVING WINDOW BETWEEN EXISTING AND PROPOSED SECTIONS. NEW SERVING WINDOW TO BE 40" IN HEIGHT & 96" IN WIDTH. ADD BOND BEAM OR LINTEL OVER OPENING.
 - 3) RELOCATE SINK & STOVE (SAFE DISTANCE FROM ELECTRICAL PANEL)
 - 4) INSTALL BARD HVAC UNIT FOR NEW ADDITION
 - 5) INSTALL HOT WATER HEATER
 - 6) INSTALL NEW BREAKERS FOR NEW MECHANICAL SYSTEMS. CHANGE PANEL IF NECESSARY.
 - 7) REPLACE EXISTING KITCHEN LIGHTS TO MATCH NEW (8' FLUORESCENT)
 - 8) REMOVE SHINGLES AND REPLACE ON EXISTING ROOF
 - 9) PAINT EXISTING KITCHEN AREA: CEILING, WALLS, AND FLOOR
 - 10) EPOXY COAT CONCRETE FLOOR OF EXISTING AND NEW CONCRETE FLOOR AREAS
 - 11) INSTALL A BARD HEATING/AC UNIT FOR THE NEW ADDITION, REFERENCE MODEL ????



SPAULDING HEIGHTS RECREATION
CENTER ADDITION
FLORENCE, SC
REMODELING PLAN

ATLANTIC ECS, LLC
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CONSTRUCTION PLANS
PROJECT NO.: 1523

SHEET NUMBER:

S8